



HIGH QUALITY PRODUCTION / WAREHOUSE UNITS

GRAVELLYINDUSTRIALPARK.CO.UK

1,967 - 23,627 SQ FT
TO LET

TYBURN ROAD, BIRMINGHAM - B24 8HZ

 **aberdeen**
Investments

1,967 - 23,627 SQ FT TO LET

HIGH QUALITY PRODUCTION / WAREHOUSE UNITS

Set in a landscaped setting, the estate covers 32.4 hectares (80 acres) and comprises 78 high quality refurbished production/warehouse units totalling 1,100,000 sq ft.

M6/J6 - BIRMINGHAM

M6 SOUTH / M42



154,024

WORK WITHIN
MANUFACTURING

84,462

WORK AS PROCESS, PLANT
AND MACHINE OPERATIVES

57,294

TRANSPORT, STORAGE
AND COMMUNICATIONS





A38 TYBURN ROAD



- Available
- Let
- Under Offer

SECURITY

The estate benefits from 24 hour manned security with CCTV and car registration plate reading system. The security is further improved with regular daily patrols.

PLANNING

All units on the estate are suitable for light industrial, general industry and storage/distribution uses falling within Class B1, B2 and B8. Individual planning consents may need to be achieved.

TERMS

Units are offered on new fully repairing and insuring leases on terms to be agreed.

EPC

EPCs are available upon request from the agents.



Steel Portal Construction



Concrete Serviced Yard Areas



All Mains Services Connected To Site



Allocated Car Parking



24 Hour Manned Security

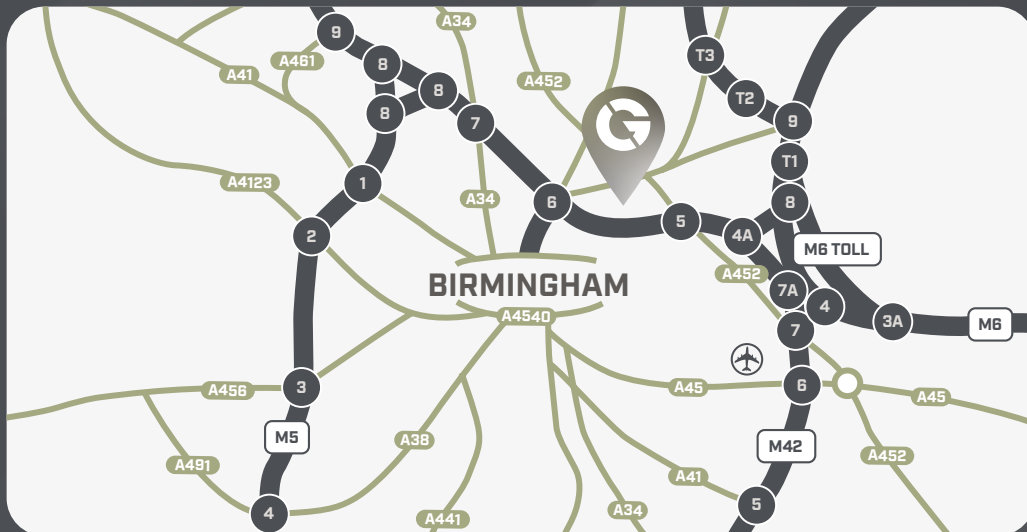


0.6 Miles From J6 of the M6 Motorway

AVAILABILITY

UNIT	SQ FT	SQ M	AVAILABILITY
Unit 5	14,924	1,386	UNDER OFFER
Unit 6	14,892	1,384	AVAILABLE
Unit 19	5,457	507	UNDER OFFER
Unit 33	23,627	2,195	AVAILABLE
Unit 43	7,452	692	AVAILABLE
Unit 82	1,967	183	UNDER OFFER





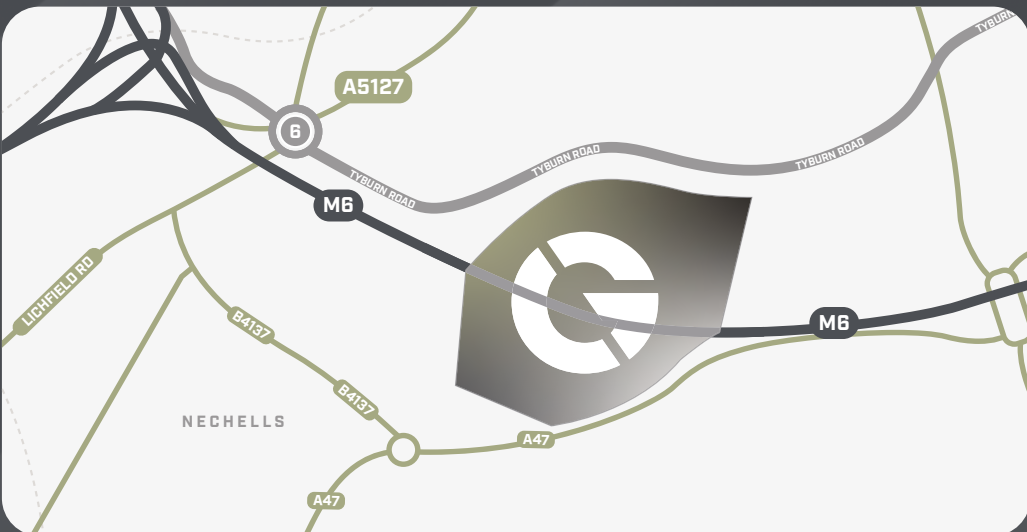
STRATEGIC ROAD NETWORK

Gravelly Industrial Park is Birmingham's premier industrial and distribution estate, strategically located close to Junction 6 M6 (Spaghetti Junction) and the Aston Expressway.

Junction 6 provides access to the M6 and the national motorway network and the Aston Expressway provides quick access to Birmingham and the Ring Road. The estate is accessed via the A38 Tyburn Road or the A47 Heartlands Parkway.

ECONOMICALLY ACTIVE POPULATION

24,387	279,016	846,263
WITHIN 10 MINS	WITHIN 20 MINS	WITHIN 30 MINS



LOCATION

LOCATION	DISTANCE
J6 M6	0.6 MILES
Birmingham City Centre	2.9 MILES
Birmingham International Airport	11.1 MILES
NEC	11.2 MILES
Coventry	21 MILES
East Midlands Airport	38.6 MILES

FOR MORE INFORMATION



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